

Concept Master Plan and Regulations



PLEASANT VIEW VILLAGE

as adopted June 26, 2002

Developer

Holt Development Co.

Prepared By

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Introduction



Description and Intent

Project Description

This is a proposal to develop a traditional neighborhood on approximately 56 acres near the city of Pleasant View, Tennessee with a projected population estimate of 900 persons (approximately 300 residential lots multiplied by 3 excluding ancillary dwellings and dwellings above shops in the Village Square) . Currently, the site is zoned for agricultural use.

There shall be a maximum of 8 (eight) dwelling units per acre. The total acreage shall be calculated by subtracting the commercial core acreage from the total acreage of the development. The approximate number and type of residential dwellings are as follows 163 single family detached dwellings, 141 single family attached dwellings, and no multifamily units.

There shall be a maximum building footprint of 74,000 square feet as shown by the Concept Master Plan and Regulations. This number represents 18.8% (percent) of the total commercial core area in the development.

Design Intent

Its plan shall be rooted in the principles that produced our greatest neighborhoods, towns, and cities prior to World War II.

Pleasant View Village shall be designed as a walkable, mixed-use community. These principles on which it is based include:

The Neighborhood

- The neighborhood shall have a center and an edge. The center of the neighborhood is its heart. A public gathering space, framed by buildings, shall be the focal point of this center.
- The neighborhood shall be compact. As a general rule, residents should be no more than a five minute walk (approximately one quarter of a mile) from the center of the neighborhood and no more than a two and a half minute walk (approximately one eighth of a mile) from some type of public open space.
- The neighborhood shall have multiple points of access into and out of the neighborhood and connect, as is physically possible, to adjacent developed areas and future developable areas.

- The neighborhood shall provide a variety of open space types for active and passive recreation.
- The neighborhood shall include a mixture of uses and mixture of building types.
- The neighborhood shall acknowledge and protect the natural features of the site as is feasible and to the extent that the guiding principles of the neighborhood's design are not compromised.
- The neighborhood shall be designed in a pedestrian-friendly manner.

The Streets

- Streets shall be interconnected and allow for multiple routes between different areas of the neighborhood.
- Streets shall be varied in type according to purpose. The widths of streets shall accommodate vehicles but respect the pedestrian.
- Streets shall be designed with sidewalks and streetscape elements that enhance the pedestrian experience.

The Blocks

- An interconnected network of streets shall create blocks of developable area that frame public space.
- Block lengths shall be minimized as possible to minimize long street walls.
- When feasible, services shall be located in the middle of the block and beyond the visibility of the public way.
- Blocks may include a variety of building types appropriately arranged.

The Buildings

- All buildings shall front streets or other public ways.
- Buildings shall be placed close to the street and frame the public way with windows, doors, stoops, and porches
- There shall be a variety of building types that reflect the local traditions of architecture and construction technique.
- The visibility of parking from public ways shall be minimized through screening and the placement of surface parking lots to the rear or side of buildings.
- Prominent locations, as possible, shall be reserved for civic sites.



Location and Context

Location

The site is located within the City of Pleasant View in Cheatham County, Tennessee. A major thoroughfare, a county road, an existing subdivision, and other natural areas bound the site. Pleasant View Village will be accessed primarily via US Highway 41A on the north boundary of the site. The site is approximately one mile from the intersection of U.S. Highway 41A and Highway 49. This intersection is approximately one half mile from exit 24 on Interstate 24.

Context

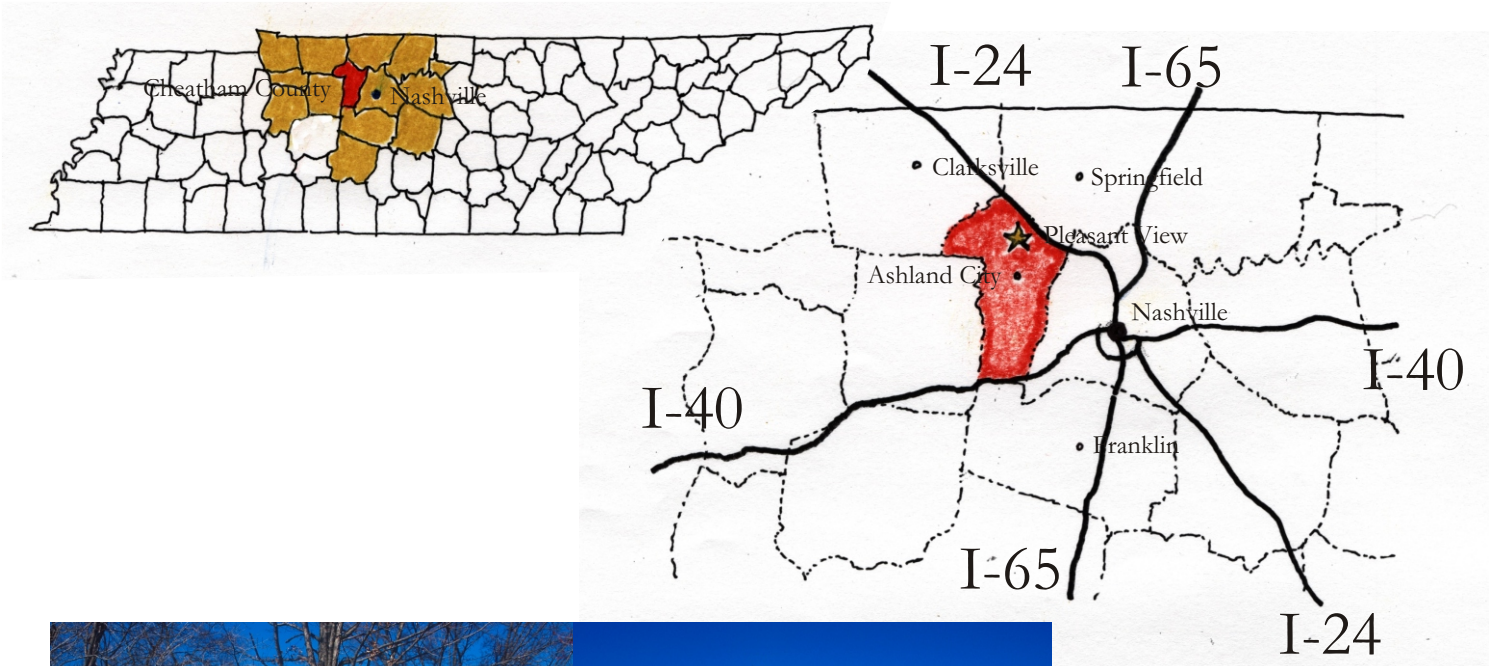
Regional

The context of the region is best exemplified in towns such as Franklin, Tennessee; Springfield, Tennessee; and Russellville, Kentucky. These towns are organized along a Main Street or around a square. In some cases, such as Springfield, the public square is the location of the county courthouse. In others, such as Franklin and Russellville, the public square is free of buildings and is utilized as a place for monuments, civic art, or as a place to rest on a park bench. The street system is well connected, which creates a series of blocks where buildings are located. Sidewalks are abundant.

Regional buildings range from elaborate mansions to simple farm houses. Buildings along Main Streets and around public squares are typically mixed in use with retail or offices at street level. Their facades are often masonry and parapets hide the nearly flat roofs of the buildings. Street level ceilings are taller than the floors above and the façade consists of more windows for retail display. Upper floor windows are less extensive, but maintain human proportion. Buildings along residential streets are a range of sizes and types. They reflect the simple vernacular of early architecture as well as that of the ornate houses often found in larger towns.

Local

The town of Pleasant View reveals the essence of southern, crossroads towns in its simple, but elegant, vernacular architecture. The historic center of Pleasant View exists along a series of connected rural streets. Older Folk Victorian and simple Arts and Crafts wooden buildings frame the public realm with porches and stoops. Surrounding the historic center are more rural type structures on large estates and farms. Newer houses and commercial buildings reflect the culture of today's auto-dominated subdivisions and commercial strip development. New factories and other places of employment are sprouting on major highways near Interstate 24.

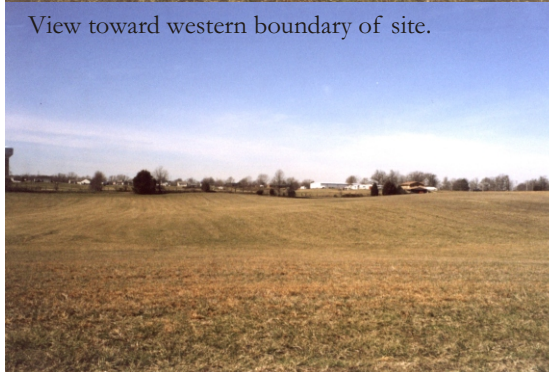


Existing Conditions

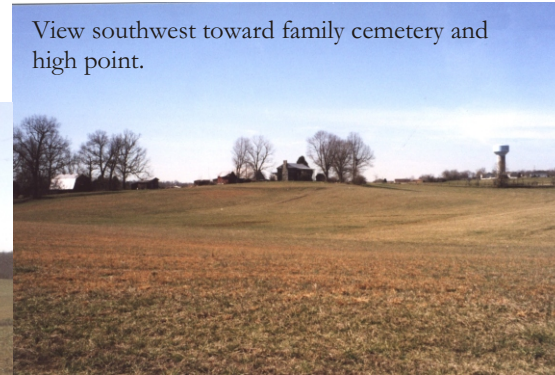
View toward eastern border of site



View toward western boundary of site.



View southwest toward family cemetery and high point.



View southeast



Existing Conditions

The image on this page illustrates the general character of the proposed site. The proposed site is bounded by US 41A on the north, Hicks Edgen Road on the west, the existing Marquis Estates on the east, and farm land on the south. Currently, there is driveway access to the site from Hicks Edgen Road and an unimproved driveway from US 41A. There is no access from the Marquis Estates subdivision and the southern edge of the property is heavily wooded.

The site consists of rolling hills with patches of vegetation in natural and man-made drainage patterns and a sparse grove of older trees. Much of the site is covered with grassy slopes. A pond and swale handles much of the natural drainage of the property, although some drainage exists along US Highway 41A.

Few structures exist on the property beyond a dilapidated house and barn. A family cemetery is situated at one of the high points on the site. There are no fences or other man-made barriers to the site.

Opportunities

Although grading must occur, the rolling character of the site offers the opportunity to create an interesting network of streets and blocks that reflects the original rolling character of the site.

High points on the site offer the opportunity of creating public spaces that become the focal point of the village.

The existing natural swale to the south of the property offers opportunities to facilitate storm water detention and drainage, as well as

preservation of some of the site's more mature vegetated areas.

Adjacency to a major thoroughfare offers the opportunity to create a place of arrival and not simply an entrance to a development.

The site offers the opportunity to set a new standard for development in Pleasant View and surrounding areas.

Limitations

Grade changes along US Highway 41A and Hicks Edgen Road as well as some within the site will require some amount of grading.

The design of US Highway 41A is not pedestrian-friendly and does not reflect the character of arriving at a place, instead of merely passing by. Hicks Edgen Road will require some upgrade to accommodate access into the site and better serve traffic movement needs.



Master Plan



Depictive Master Plan

The illustration on this page shows the general layout of streets, blocks, and lots in Pleasant View Village. Modification or alterations of the master plan may be necessary for building code, engineering or market purposes; however, the stated design intent, as set forth earlier in this document, will guide any modifications.

Design Features

This plan features a public square as the center of the village with mixed-use buildings framing its edges. Parking for the village center is accommodated on-street and behind the buildings. Major Residential Streets radiate from the center and accommodate a higher intensity of housing as well as connect formal open spaces.

The village features a mix of housing types with a wide range of sizes.

Mid-block Service Lanes provide automobile access for most lots.

A natural, vegetated drainage area will be cleaned up and much of it preserved as informal open space with nature trails surrounded by existing vegetation. The village will feature multiple connections to Highway 41A and Hicks Edgen.

Future development that occurs adjacent to or across the street from Pleasant View Village shall connect to Pleasant View Village as is feasible.

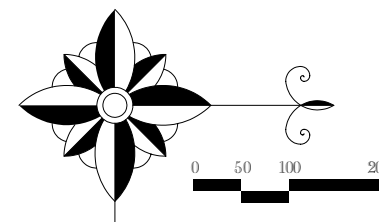
Utilities will be located underground.

Although site grading must occur, much of the natural and topographic features of Pleasant View Village will be maintained and reflected in the design of streets and placement of buildings, as is feasible.

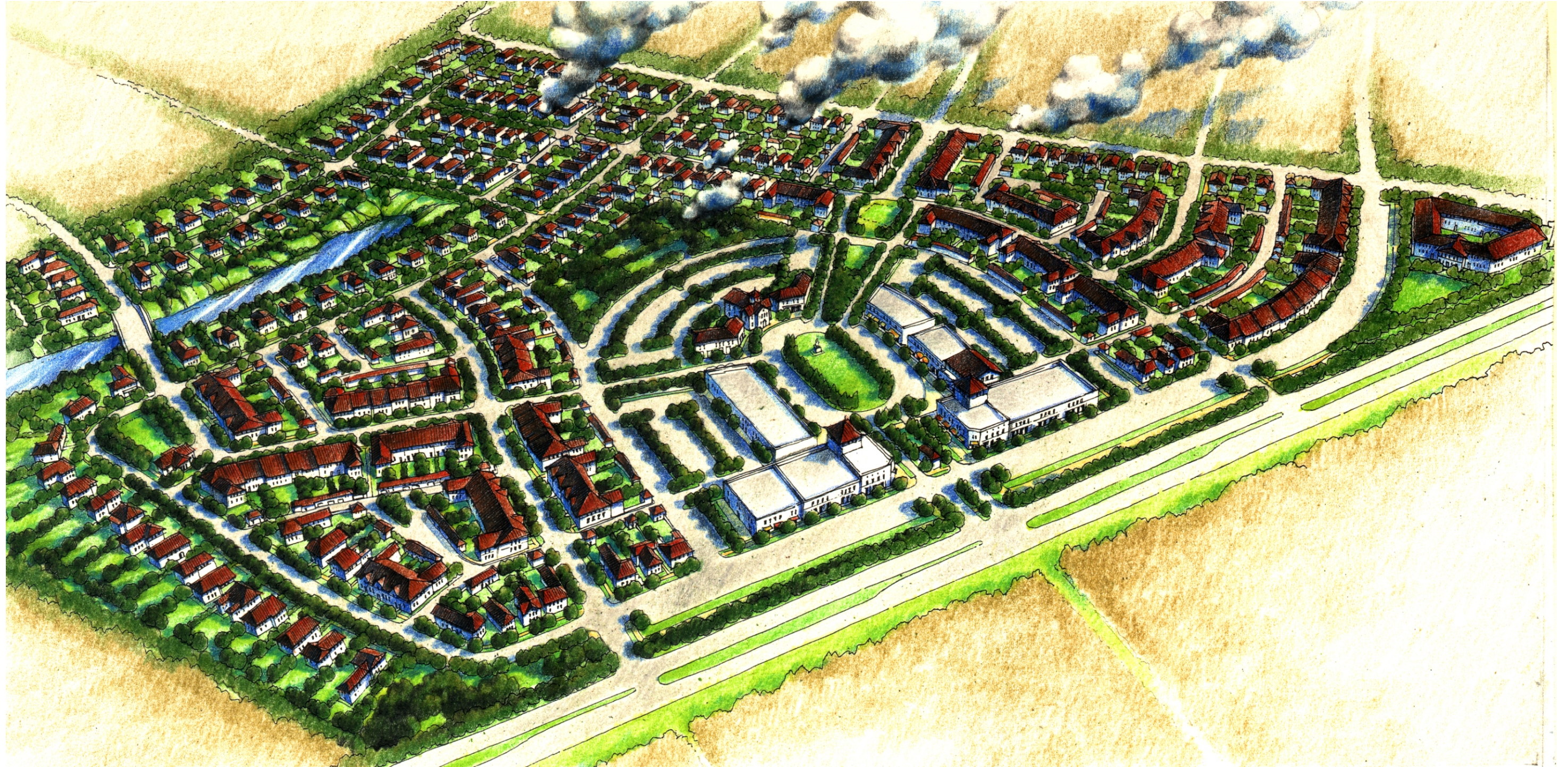
Where possible, natural drainage features of the site will be maintained and improved to accommodate detention and drainage. Drainage concepts include the use of the existing natural drainage swale on the south side of the property as well as drainage patterns along US Highway 41A.

ELEMENTS

- I. Village Square
- II. Cemetery Green
- III. Village Green
- IV. Future Civic Site/Open Space
- V. Future Civic Site/Open Space



Aerial View Looking Southwest



Pleasant View Village Square



Location



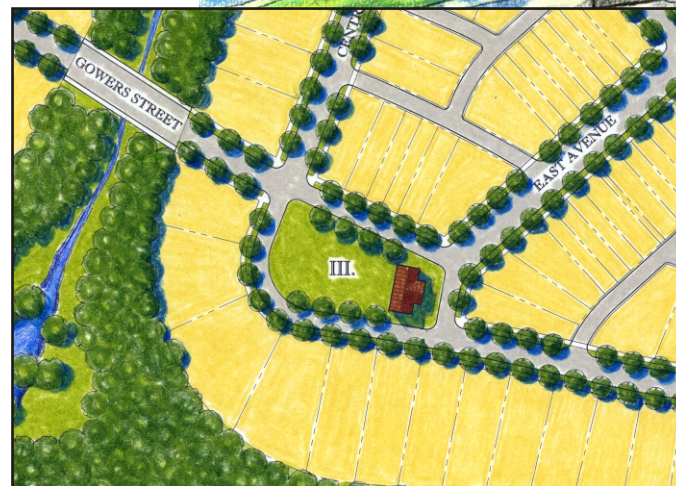
Pleasant View Village Live/Work



Location



Pleasant View Village Green



Location



Pleasant View Village Residential Street



Location



Street Network

The following street types form an interconnected transportation network in Pleasant View Village.

Commercial Street

Commercial Streets exist at the edges of the public square and other locations where mixed-use and commercial activities occur. These streets accommodate the highest volume of pedestrian activity.

Major Residential Street

Major Residential Streets are streets that lead to the village center. These streets accommodate a higher traffic volume and pedestrian activity than Minor Residential Streets.

Minor Residential Street

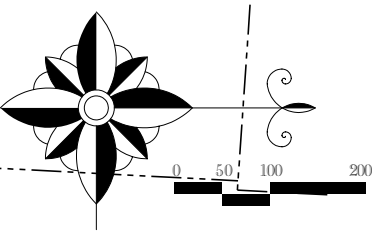
Minor Residential Streets are streets that carry local traffic within the neighborhood. These streets accommodate the lowest volume of pedestrian activity.

Service Lane

Service Lanes are the equivalent of private driveways in that they provide access to individual lots. Waste pick-up, some utilities, and possibly mail delivery may be accommodated along Service Lanes.

ELEMENTS

- A. Commercial Street
- B. Commercial Street
- C. Commercial Street
- D. Major Residential Street
- E. Major Residential Street
- F. Minor Residential Street
- G. Minor Residential Street
- H. Service Lane
- I. Service Lane
- J. Bridge



Street Sections

The street sections depicted here are keyed to the Street Network diagram on the previous page. The following general standards shall be applied as required by street type (specific standards are noted on street sections as well as in the Landscape and Streetscape, Landscape Standards, and Building Type sections). Note that roundabouts shall be used as traffic calming measures where applicable and appropriate.

Frontage

Commercial Street	Buildings placed at edge of sidewalk
Major Residential Street	Buildings placed close to sidewalk
Minor Residential Street	Buildings placed further back from sidewalk
Service Lane	Garages placed further back from lane

Sidewalks and Streetscape

Commercial Street	Wide sidewalks and tree wells
Major Residential Street	Narrow sidewalks and street trees
Minor Residential Street	Narrow sidewalks and street trees
Service Lane	None

Parking

Commercial Street	Permanent diagonal, head-in, or parallel parking
Major Residential Street	Permanent parallel parking
Minor Residential Street	Occasional parallel parking
Service Lane	None

Roadway

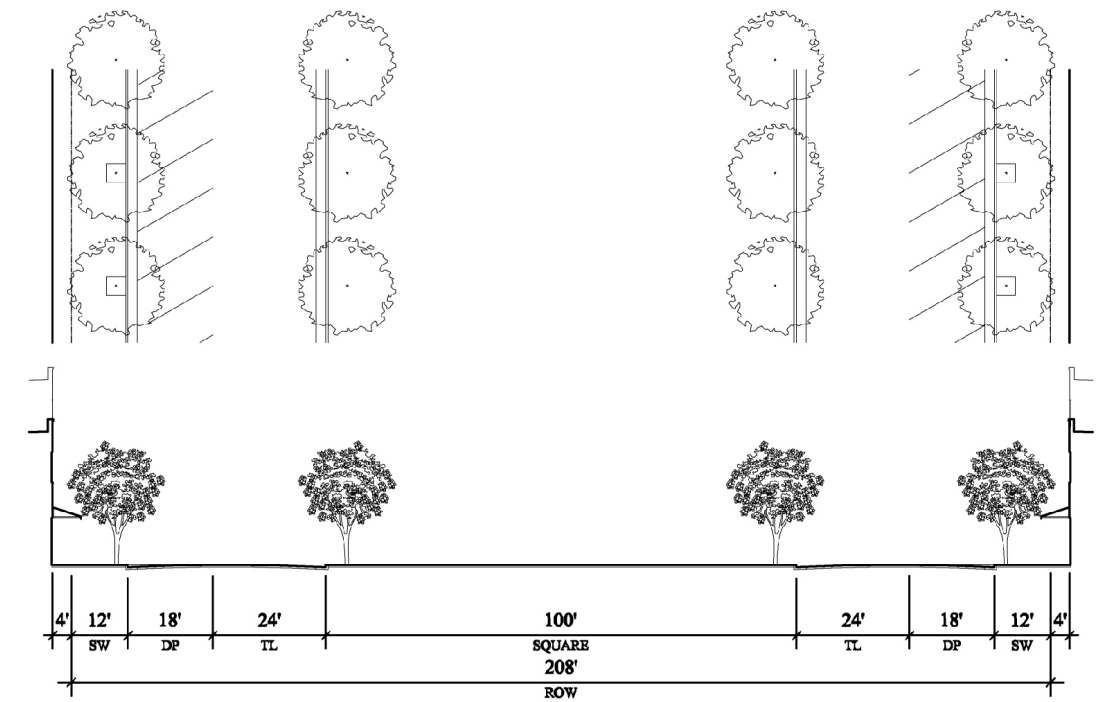
Commercial Street	Wide travel lanes
Major Residential Street	Narrow travel lanes
Minor Residential Street	Narrow travel lanes
Service Lane	Narrow travel lane

Drainage

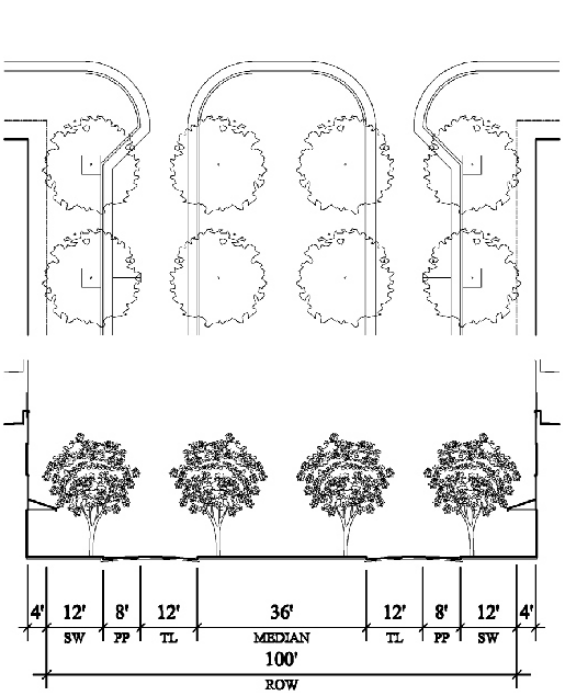
Commercial Street	Curb and gutter
Major Residential Street	Curb and gutter
Minor Residential Street	Curb and gutter or swale

Key to Abbreviations on Drawings

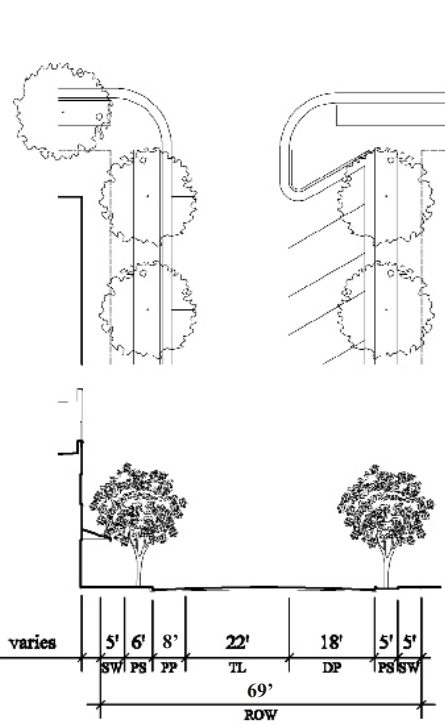
TL	Travel Lane
DP	Diagonal Parking
PP	Parallel Parking
PS	Planting Strip
SW	Sidewalk



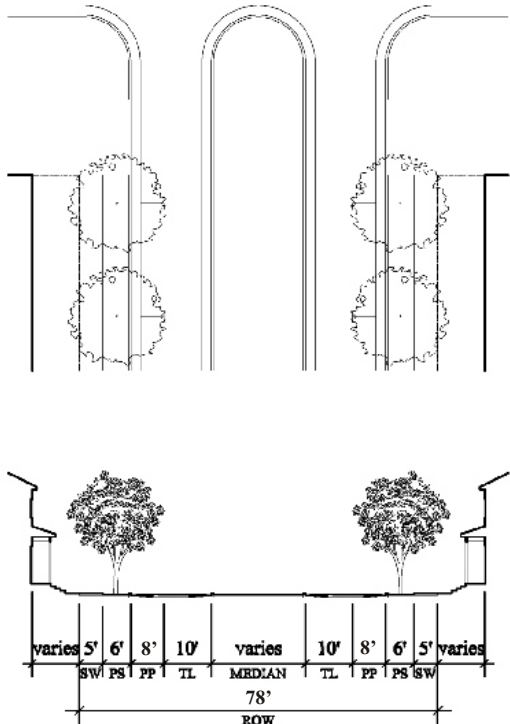
A.



B.



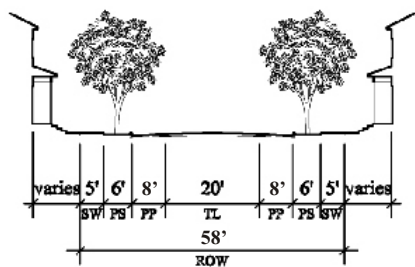
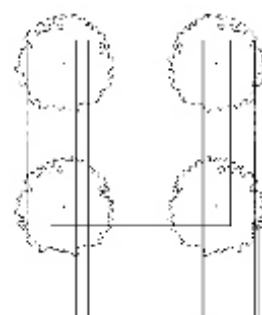
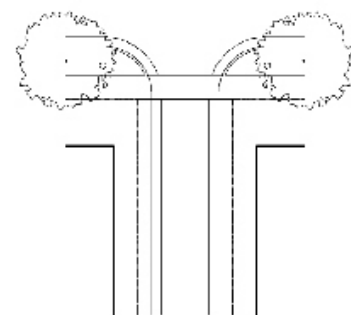
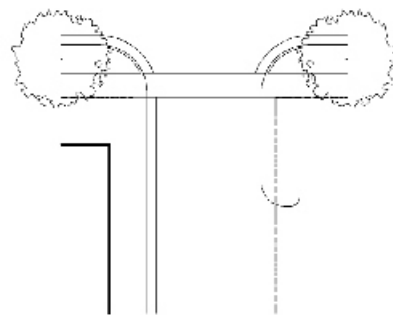
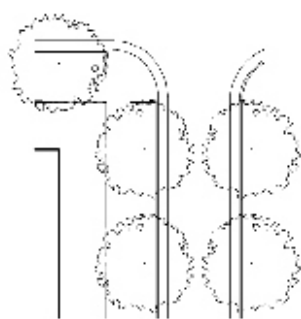
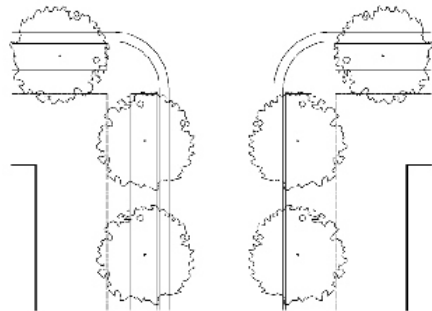
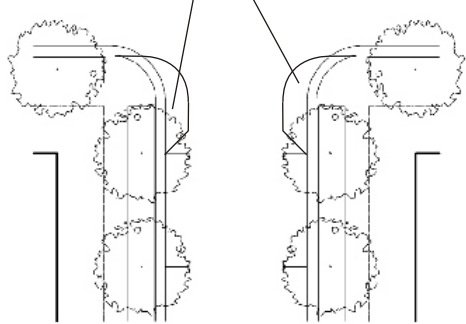
C.



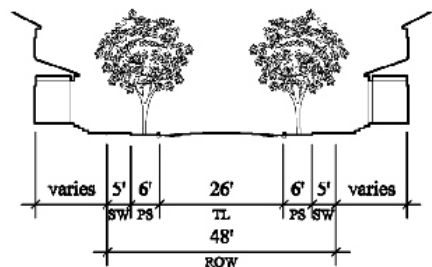
D.

Street Sections

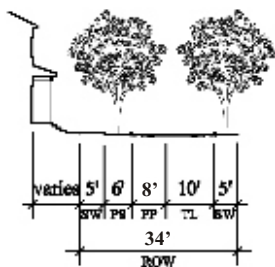
There shall be pedestrian bulb-outs on E street at intersections.



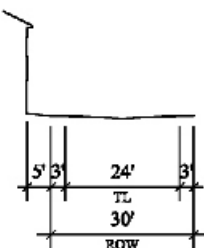
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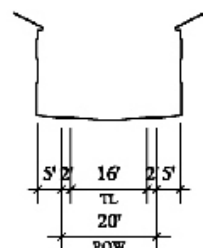
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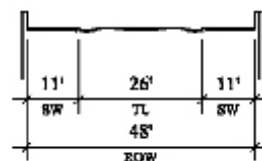
G.



H.



I.



J.

Key to Abbreviations on Drawings

- TL Travel Lane
- DP Diagonal Parking
- PP Parallel Parking
- PS Planting Strip
- SW Sidewalk



Open Space

The following types of open space are located within Pleasant View Village.

Formal/Active Open Space

Square

The Square is the formal open space at the center of the neighborhood that is framed by building fronts. The Square's purpose is as central public gathering place and focal point for the neighborhood. Civic art or other civic structures are appropriate additions to the Square.

Green

The Green is a small, formal open space that may accommodate a variety of functions including a clubhouse, pool, tot lot, or simply landscaping. Their purpose is to provide small active open spaces in areas further from the village center. Buildings shall frame Greens.

Informal/Passive Open Space

Preserve

Preserves are natural areas that exist between, behind, and, in some instances, in front of private lots. Their purpose is to protect the site's natural features and provide passive recreational space for citizens.

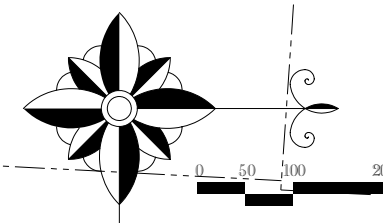
ELEMENTS

Formal/Active Open Space

- 1. Village Square
- 2. Future Civic/Open Space
- 3. Cemetery Green
- 4. Village Green

Informal/Passive Open Space

- A. Natural Drainage/Steep Slopes



Landscape and Streetscape

Landscaping

The following general standards shall be applied in Pleasant View Village as required (specific standards may be noted in the Street Sections, Building Type, and Landscape Standards sections).

Street Trees

Street trees shall be placed on both sides of each street throughout the neighborhood. Along Commercial Streets, trees may be located in tree wells. Along all other streets, trees shall be located in planting strips (width of planting strip shall be as depicted in street sections). Tree species are to be determined by a Civil Engineer or Landscape Architect.

Screening

Parking lots shall be screened from view of public ways, with the exception of Service Lanes. Screening shall be provided through the use of evergreen shrubs or by an opaque wall that matches the exterior materials of the principle structure on the property.

Miscellaneous Landscaping and Landscaping on Private Lots

Formal and informal landscaping is encouraged in all open spaces to enhance the natural features of the space. Landscaping, such as trees, are encouraged in parking lots to provide some shade for hardscape surfaces. Developer or contractor shall provide landscape standards for private lots.

Streetscape

The following general standards shall be applied in Pleasant View Village as required (specific standards may be noted in the Street Sections and Building Type sections).

Street Furniture

Street furniture shall be provided, where appropriate, to enhance the pedestrian environment and unite the neighborhood aesthetically. Street furniture includes, but is not limited to, benches, waste receptacles, newspaper racks, and bicycle racks. The location and quantity of street furniture is dependent upon the amount of pedestrian activity. Areas of low or infrequent pedestrian volume will require little, if any, street furniture.

Street Lighting

Pedestrian-scaled street lighting shall be utilized throughout the neighborhood. The spacing between light fixtures and, subsequently, the number of fixtures shall be less along Minor Residential Streets than along Major Residential Streets and Commercial Streets. All light fixtures shall cast light towards the ground and minimize the amount of light that is cast on private lots.

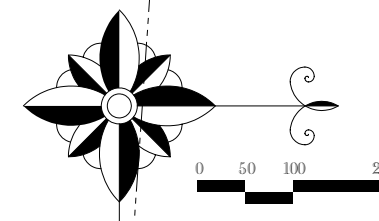
Awnings

Fabric awnings are encouraged along commercial streets above street level commercial uses to provide some protection from the elements. Awnings may extend into the public right-of-way, but must not interfere with adjacent street trees. Internally illuminated awnings shall be prohibited.



Phasing Plan

The diagram on this page depicts the various phases of development of Pleasant View Village.



Urban Regulations

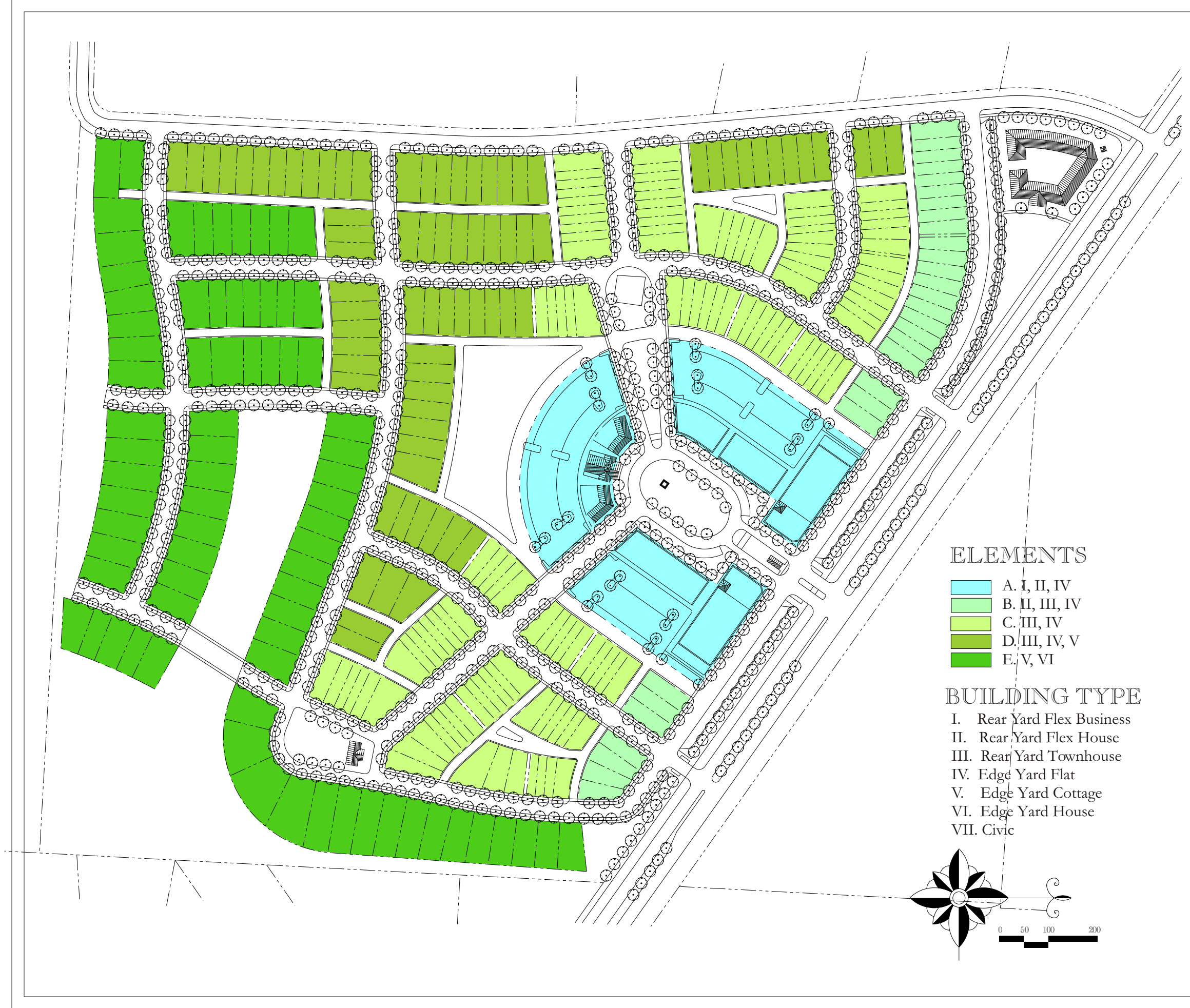


Regulating Plan

The illustration on this page depicts the locations where certain building types may be built in Pleasant View Village. The requirements listed in this document shall take precedence over adopted zoning ordinances; however, the requirements may be modified to meet building codes and other requirements as needed. Modification or alterations of the Regulating Plan may be necessary for building code, engineering or market purposes; however, the stated design intent, as set forth earlier in this document, will guide any modifications.

General Standards

- Buildings on corner lots shall address both streets through building features such as porches, bay windows, etc.
- Special attention to design shall be required for all buildings that terminate street vistas. Approval of these designs shall be at the discretion of the Design Review Committee.
- Care shall be taken in minimizing the visual impact of transformers, cable boxes, meters, condensers, and other exterior utilities and equipment through placement away from public view and opaque screening.
- Civic buildings should be reserved for prominent public open space sites, but may be built in any block as deemed necessary.



Type I: Rear Yard Flex-Business

The diagram on this page and the accompanying requirements below illustrate the regulations that govern Type I buildings in Pleasant View Village.

Definition

Rear Yard Flex-Business buildings are located in the village center and are intended to accommodate the mix of uses appropriate to the vitality of village centers.

Additional Standards and Explanations:

Minimum Lot Width: None Required

Minimum Lot Depth: None Required

Placement

100% of facades that face a public way (excluding service lanes) must be built at the stated setback, with the exception of Pedestrian Passages as outlined below.

Front Encroachment Zone

The intent of the Front Encroachment Zone is to allow recesses and projections in a building façade to avoid monotony. Building elements such as pilasters and balconies may project or recess a maximum of 3 ft. within the Front Encroachment Zone. The encroachment zone may be increased through a variance to accommodate outdoor dining, but a low wall or fence, in line with the principal façade of a building, must define the outdoor dining area.

Pedestrian Passages

Although a continuous building wall is required, openings between buildings are permitted to facilitate pedestrian access. Pedestrian passages shall be a maximum of 16 ft. wide. It is encouraged that storefront windows turn the corner and extend a reasonable distance along pedestrian passages between buildings.

Massing

Building facades that front a public way (excluding service lanes) shall not extend more than 24 ft. without relief in the façade. Refer to

Encroachment Zone for appropriate recesses and projections to achieve this standard.

Storefront

A minimum of 40% of the area of ground level façades that face a public way (excluding service lanes) shall be transparent. The minimum height of storefront shall be 10 ft. All storefront buildings shall face a public street.

Parking

Parking requirement may be reduced through the use of shared parking. On-street parking spaces may be used to fulfill the following requirements. There shall be no parking between the building and sidewalk. Parking shall be accessed via a service lane.

Retail/Restaurant:	3 spaces per 1000 s.f.
Office:	2 spaces per 1000 s.f.
Residential:	1.5 spaces per unit
Civic:	None required

Deliveries

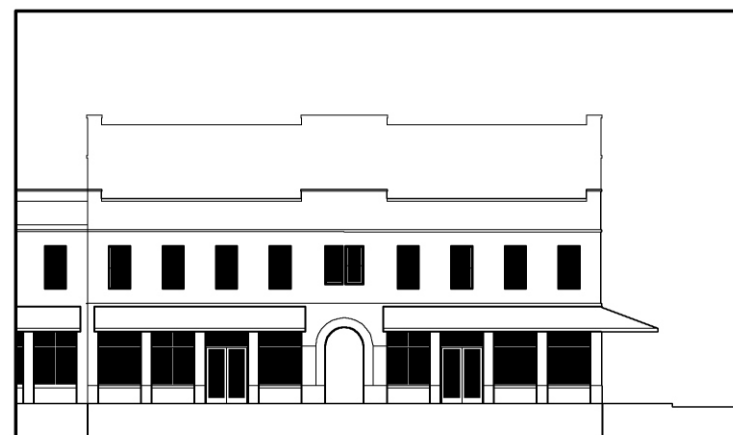
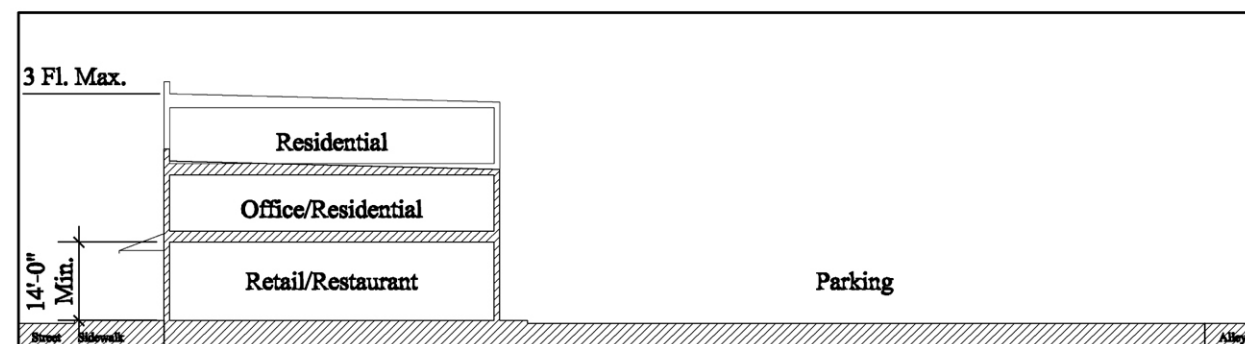
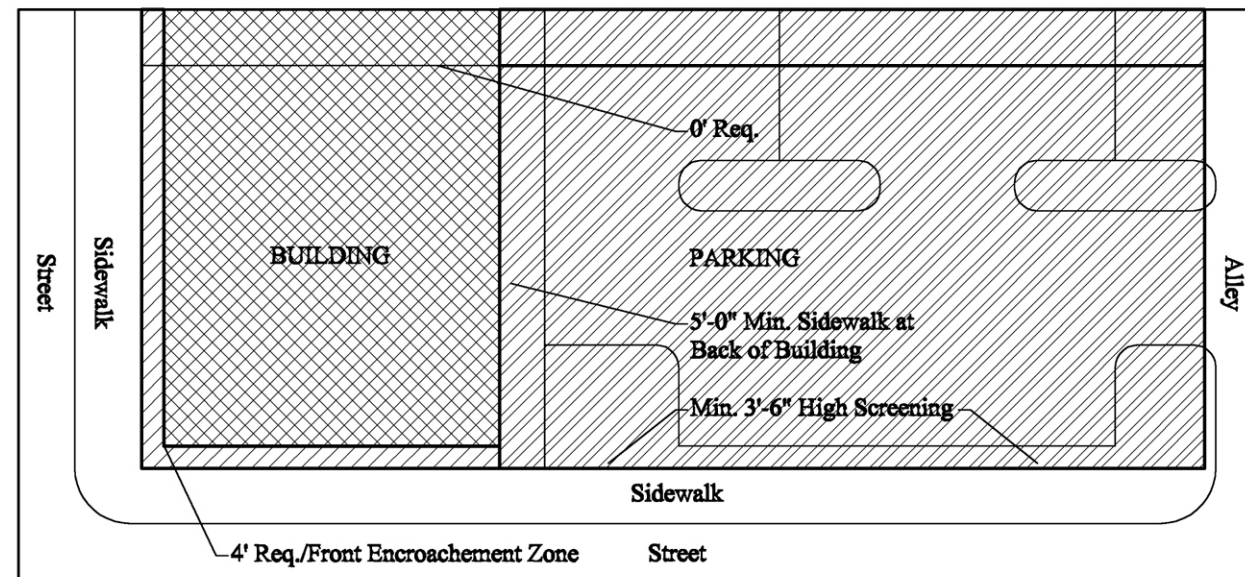
Deliveries should be made at off-peak times. Loading docks and similar facilities shall be located to the side or rear of buildings and screened from public view.

Architectural Standards

The Developer shall submit Architectural Standards that accompany this document for review and approval by Planning Commission.

Design Review

The Developer shall create a Design Review Committee to review proposed projects for the village for compliance with approved standards.



Type II: Rear Yard Flex House

The diagram on this page and the accompanying requirements below illustrate the regulations that govern Type II buildings in Pleasant View Village.

Definition

Rear Yard Flex-Houses are single-family, attached, houses that may have a business located on the ground level.

Additional Standards and Explanations:

Minimum Lot Width: 20 ft./24 ft. at corner

Minimum Lot Depth: 40 ft.

Placement

70% of facades that front a public way (excluding service lanes) must be built at the stated setback. Street walls, in line with the principal façade, shall fill openings between buildings. On corner lots, one frontage shall be designated as the primary frontage and it shall meet placement requirements.

Front Encroachment Zone

The intent of the Front Encroachment Zone is to allow recesses and projections in a building façade to avoid monotony. Building elements such as stoops, porches, and awnings may project or recess within the Front Encroachment Zone. Porches shall have a minimum depth of 6 ft.

Pedestrian Passages

Although a continuous building wall is envisioned, openings between buildings are permitted to facilitate pedestrian access. Generally, there should be no more than eight attached structures before providing a pedestrian passage.

Massing

Building facades that front a public way (excluding service lanes) shall not extend more than 24 ft. without a break in the façade. Refer to Front Encroachment Zone for appropriate recesses and projections to achieve this standard.

Storefront

A minimum of 20% of the area of ground level façades that face a public way (excluding service lanes) shall be transparent. The minimum height of storefront shall be 8 ft.

Rear Encroachment Zone

The intent of the Rear Encroachment Zone is to allow recesses and projections in a building façade to provide protected circulation between the principal structure and parking area.

Parking

Parking requirement may be reduced through the use of shared parking. On-street parking spaces may be used to fulfill the following requirements. There shall be no parking between the building and sidewalk. Parking shall be accessed via a service lane.

Retail/Restaurant:	None required
Office:	None required
Residential:	2 space per unit

Ancillary Dwelling

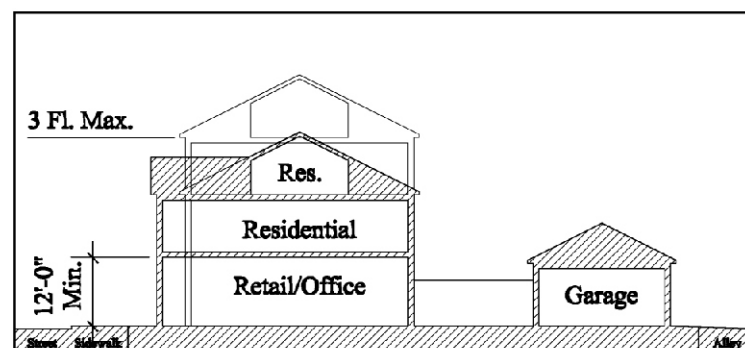
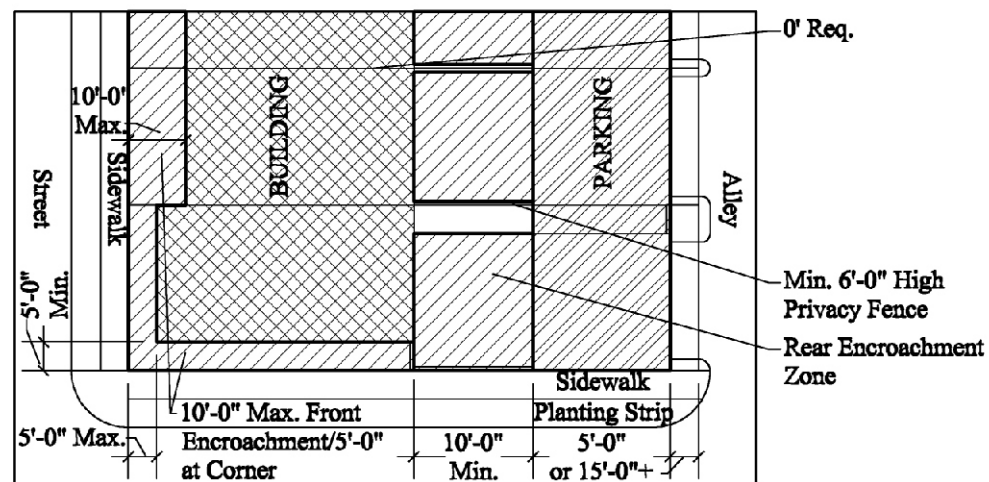
A dwelling above a garage with a minimum area of 500 s.f. shall be allowed. Ancillary dwellings shall be limited to 25% of the lots per block.

Architectural Standards

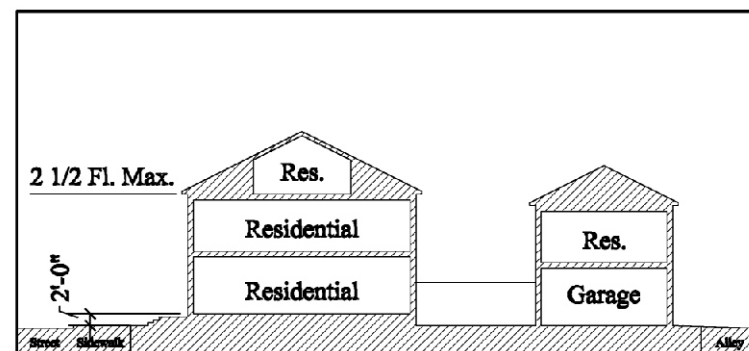
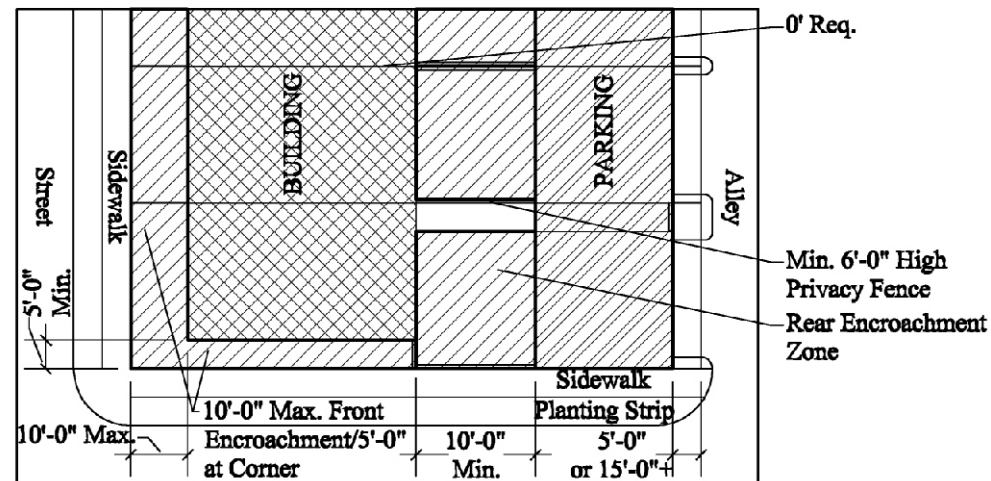
The Developer shall submit Architectural Standards that accompany this document for review and approval by Planning Commission.

Design Review

The Developer shall create a Design Review Committee to review proposed projects for the village for compliance with approved standards.



Type III: Rear Yard Townhouse



The diagram on this page and the accompanying requirements below illustrate the regulations that govern Type III buildings in Pleasant View Village.

Definition

Rear Yard Townhouses are single-family attached houses where the majority of the yard is behind the principal structure.

Additional Standards and Explanations:

Minimum Lot Width: 16 ft./24 ft. at corner

Minimum Lot Depth: 80 ft.

Placement

70% of facades that front a public way (excluding service lanes) must be built at the stated setback. Street walls, in line with the principal façade, shall fill openings between buildings. On corner lots, one frontage shall be designated as the primary frontage and it shall meet placement requirements.

Front Encroachment Zone

The intent of the Front Encroachment Zone is to allow recesses and projections in a building façade to provide access and avoid monotony. Building elements such as stoops and porches may project or recess within the Front Encroachment Zone. Porches shall have a minimum depth of 6 ft.

Pedestrian Passages

Although a continuous building wall is envisioned, openings between buildings may be permitted to allow for pedestrian access. Generally, there should be no more than eight attached structures before providing a pedestrian passage. Pedestrian passages shall be a maximum of 16 ft. wide.

Rear Encroachment Zone

The intent of the Rear Encroachment Zone is to allow recesses and projections in a building façade to provide protected circulation between the principal structure and parking area.

Parking

Parking requirement may be reduced through the use of shared parking. On-street parking spaces may be used to fulfill the following requirements. There shall be no parking between the building and sidewalk. Parking shall be accessed via a service lane.

Residential: 2 space per unit

Ancillary Dwelling

A dwelling above a garage with a minimum area of 500 s.f. shall be allowed. Ancillary dwellings shall be limited to 25% of the lots per block.

Architectural Standards

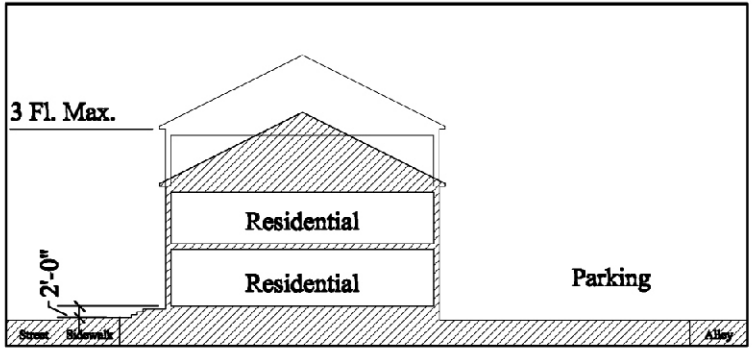
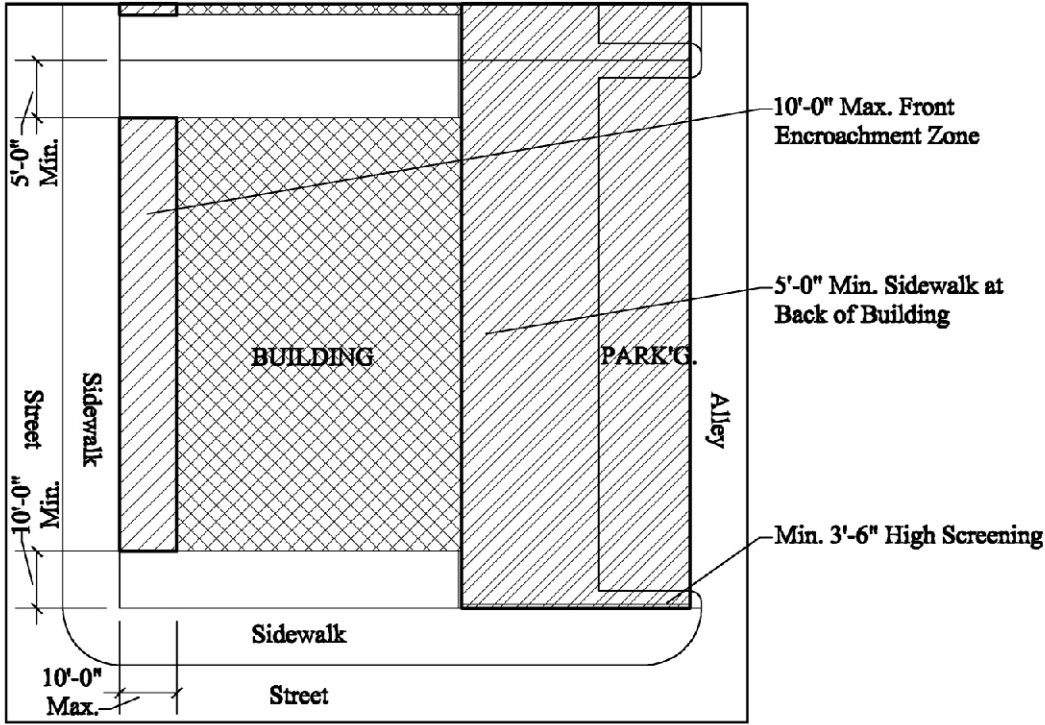
The Developer shall submit Architectural Standards that accompany this document for review and approval by Planning Commission.

Design Review

The Developer shall create a Design Review Committee to review proposed projects for the village for compliance with approved standards.



Type IV: Edge Yard Flats



The diagram on this page and the accompanying requirements below illustrate the regulations that govern Type IV buildings in Pleasant View Village.

Definition

Edge Yard Flats are structures with two or more units

Additional Standards and Explanations:

Minimum Lot Width: None Required

Minimum Lot Depth: 80 ft.

Placement

70% of facades that front a public way (excluding service lanes) must be built at the stated setback. Street walls, in line with the principal façade, shall fill openings between buildings. On corner lots, one frontage shall be designated as the primary frontage and it shall meet placement requirements.

Front Encroachment Zone

The intent of the Front Encroachment Zone is to allow recesses and projections in a building façade to provide access and avoid monotony. Building elements such as stoops and porches may project or recess within the Front Encroachment Zone.

Rear Encroachment Zone

The intent of the Rear Encroachment Zone is to allow recesses and projections in a building façade to provide protected circulation between the principal structure and parking area.

Parking

There shall be no parking between the building and sidewalk.

1 Bedroom Units:	1 space per unit
2 or more Bedroom Unit:	1.5 spaces per unit

Architectural Standards

The Developer shall submit Architectural Standards that accompany this document for review and approval by Planning Commission.

Design Review

The Developer shall create a Design Review Committee to review proposed projects for the village for compliance with approved standards.



Type V: Edge Yard Cottage

The diagram on this page and the accompanying requirements below illustrate the regulations that govern Type V buildings in Pleasant View Village.

Definition

Edge Yard Cottages are single-family detached houses that are accessed via rear service lanes.

Additional Standards and Explanations:

Minimum Lot Width: 24 ft.

Minimum Lot Depth: 100 ft.

Placement

40% of facades that front a public way (excluding service lanes) must be built at the stated setback. On corner lots, one frontage shall be designated as the primary frontage and it shall meet placement requirements. A building may have a 0 ft. side setback so long as the other side setback is 6 ft. Minimum.

Front Encroachment Zone

The intent of the Front Encroachment Zone is to allow recesses and projections in a building façade to provide access and avoid monotony. Porches shall have a minimum 6 ft. depth.

Rear Encroachment Zone

The intent of the Rear Encroachment Zone is to allow recesses and projections in a building façade to provide protected circulation between the principal structure and parking area.

Parking

There shall be no parking between the building and sidewalk.

Principal Structure: 2 spaces

Ancillary Dwelling: 1 space

Ancillary Dwelling

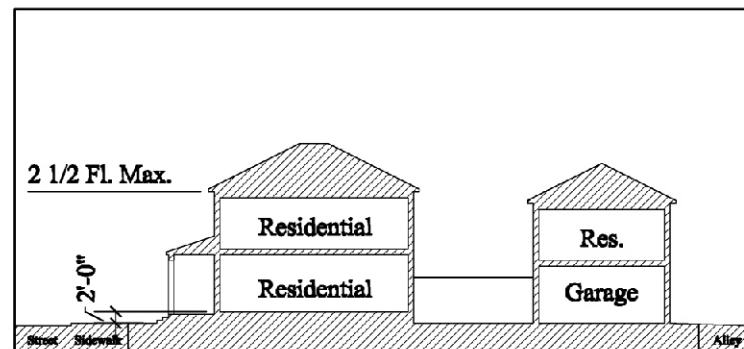
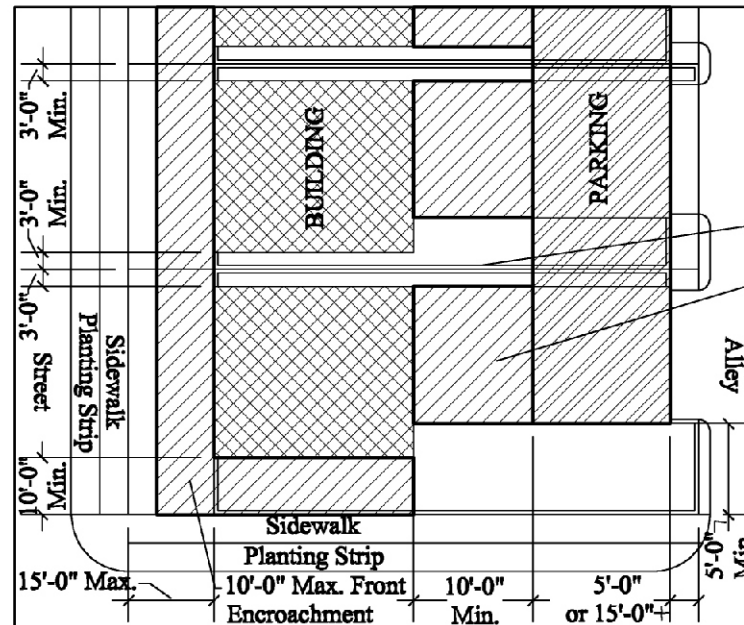
A dwelling above a garage with a minimum area of 500 s.f. shall be allowed. Ancillary dwellings shall be limited to 25% of the lots per block.

Architectural Standards

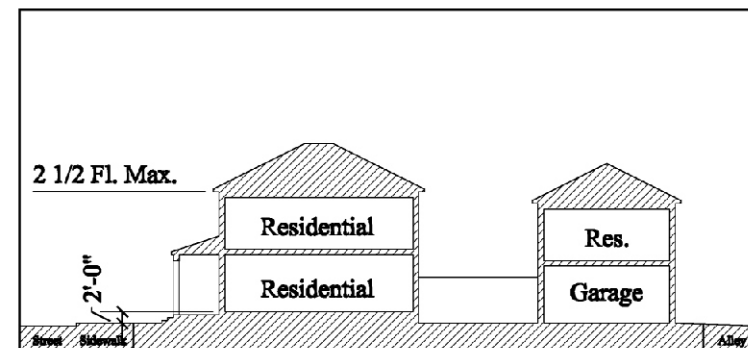
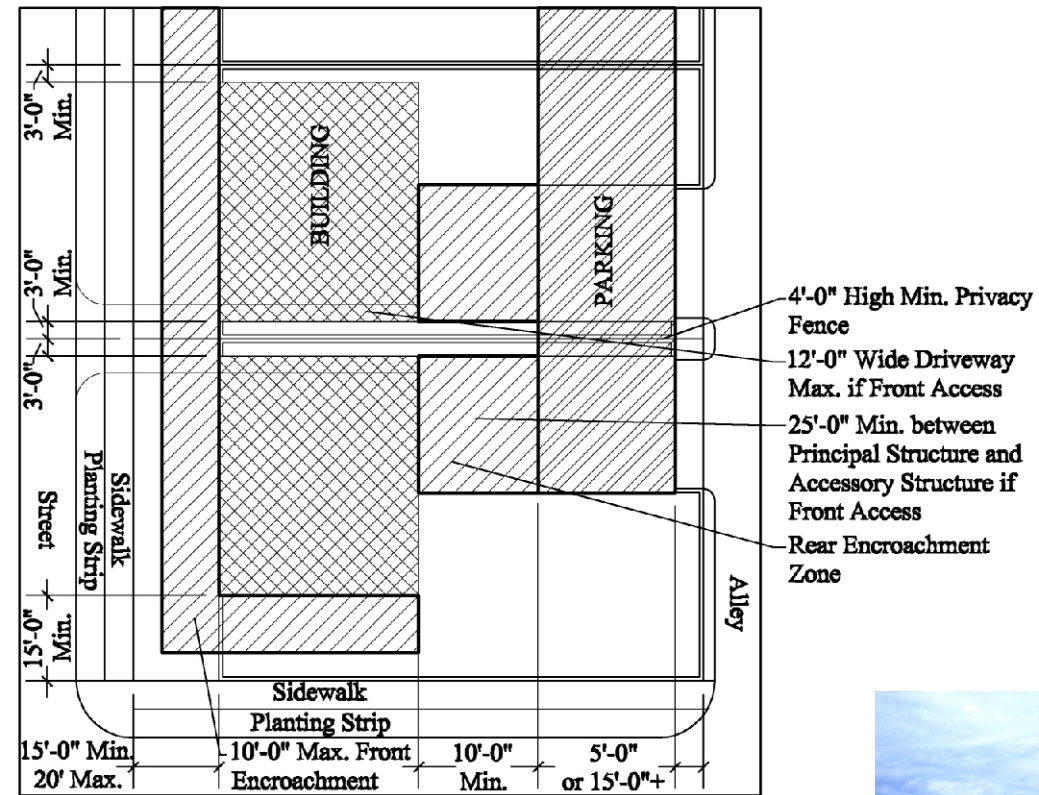
The Developer shall submit Architectural Standards that accompany this document for review and approval by Planning Commission.

Design Review

The Developer shall create a Design Review Committee to review proposed projects for the village for compliance with approved standards.



Type VI: Edge Yard House



The diagram on this page and the accompanying requirements below illustrate the regulations that govern Type VI buildings in Pleasant View Village.

Definition

Edge Yard Houses are single-family detached houses that are accessed from rear service lanes or from the street.

Additional Standards and Explanations

Minimum Lot Width: 32 ft.

Minimum Lot Depth: 100 ft.

Placement

40% of facades that front a public way (excluding service lanes) must be built at the stated setback. On corner lots, one frontage shall be designated as the primary frontage and it shall meet placement requirements. A building may have a 0 ft. side setback so long as the other side setback is a minimum of 6 ft.

Front Encroachment Zone

The intent of the Front Encroachment Zone is to allow recesses and projections in a building façade to provide access and avoid monotony. Porches shall have a minimum depth of 6 ft.

Rear Encroachment Zone

The intent of the Rear Encroachment Zone is to allow recesses and projections in a building façade to provide protected circulation between the principal structure and parking area.

Parking

There shall be no parking between the building and sidewalk. On sloping sites that are not served by Service Lanes, garages may front the street but must be recessed behind the principal façade of the building.

Principal Structure:	2 spaces
Ancillary Dwelling:	1 space

Ancillary Dwelling

A dwelling above a garage with a minimum area of 500 s.f. shall be allowed. Ancillary dwellings shall be limited to 25% of the lots per block.

Architectural Standards

The Developer shall submit Architectural Standards that accompany this document for review and approval by Planning Commission.

Design Review

The Developer shall create a Design Review Committee to review proposed projects for the village for compliance with approved standards.



Type VII: Civic

Definition

Civic buildings shall be designed to reflect their prominent location and importance. There are no requirements for civic buildings in Pleasant View Village; however, each proposal shall be approved by the Design Review Committee and the Planning Commission. Standards may be developed by the Design Review Committee in conjunction with the Planning Commission.

Civic buildings shall include:

- A) Government Offices
- B) Churches
- C) Schools
- D) Fire and Police Stations
- E) Community Facilities (i.e. Museums, libraries, recreation centers, banquet halls, etc.)





The following signage standards apply to Pleasant View Village.

Prohibited Signs

The following signs are prohibited in Pleasant View Village.

Billboards

Pole Mounted Signs

Ground Mounted Signs (with the exception of monuments or other ground-mounted signage signifying the Village itself. The Design Review Committee and the Planning Commission through the submittal of detailed drawings shall approve such signage)

Projecting Signs

Façade Projecting Sign

A sign that is attached and mounted generally perpendicular to a façade.

Maximum Display Area:	30 s.f.
Minimum Setback:	NA
Minimum Height:	Bottom of sign must be minimum 8 ft. above sidewalk. Sign shall not extend above roof or parapet.

Object Sign

A three-dimensional sign representing an object associated with a particular business that is attached and mounted generally perpendicular to a façade.

Maximum Display Area:	30 c.f.
Minimum Setback:	NA
Minimum Height:	Bottom of sign must be minimum 8 ft. above sidewalk. Sign shall not extend above roof or parapet.

Awning Sign

A sign that is embroidered, silk-screened, or otherwise applied to the material of an awning.

Maximum Display Area:	20% of surface area
Minimum Setback:	NA
Minimum Height:	NA

Flat Signs

Façade Mounted Sign

A sign that is attached and mounted generally flush with a façade.

Maximum Display Area:	5% of façade or 40 s.f. whichever is greater.
Minimum Setback:	NA
Minimum Height:	Bottom of sign must be minimum 8 ft. above sidewalk. Sign shall not extend above roof or parapet.

Letter and Symbol Sign

Letters or graphic elements attached and mounted generally flush with a façade.

Maximum Display Area:	5% of façade or 40 s.f. whichever is greater.
Minimum Setback:	NA
Minimum Height:	Bottom of sign must be minimum 8 ft. above sidewalk. Sign shall not extend above roof or parapet.

Window Sign

A sign that is painted or otherwise applied to a window.

Maximum Display Area:	25% of window area
Minimum Setback:	NA
Minimum Height:	NA

General Standards

Signs shall be externally lit or backlit with a diffused light source. Internally illuminated signs shall be prohibited.

Signs should be placed as to not conceal architectural features.

No signs shall be taller than the eave or parapet of the structure that they are attached to.



Landscape Standards

The following landscape standards shall be applied in Pleasant View Village. The developer shall submit, to the Planning Commission for approval, a Landscape Plan that provides further standards, details, and methods that are beyond the scope of this document.

Open Space

No lot in Pleasant View Village shall be more than one-quarter mile from the Village Square. No lot in Pleasant View Village shall be more than one-eighth mile from some type of open space.

Trees

Where required, street trees shall be placed approximately 30 ft. on center. When planted, trees shall have a minimum caliper of 3 inches and a minimum height of 10 ft. to 16 ft. There shall be trees in surface parking lots equal to 1 tree for every 12 (twelve) parking spaces. Trees may be planted in individual planters

Screening

Parking shall be screened from public ways (with the exception of Service Lanes) by an opaque wall or evergreen shrubs with a minimum height of 3.5 ft.

